

PLANNING & ZONING COMMISSION Staff Report

CONDITIONAL USE PERMIT CU 06-04

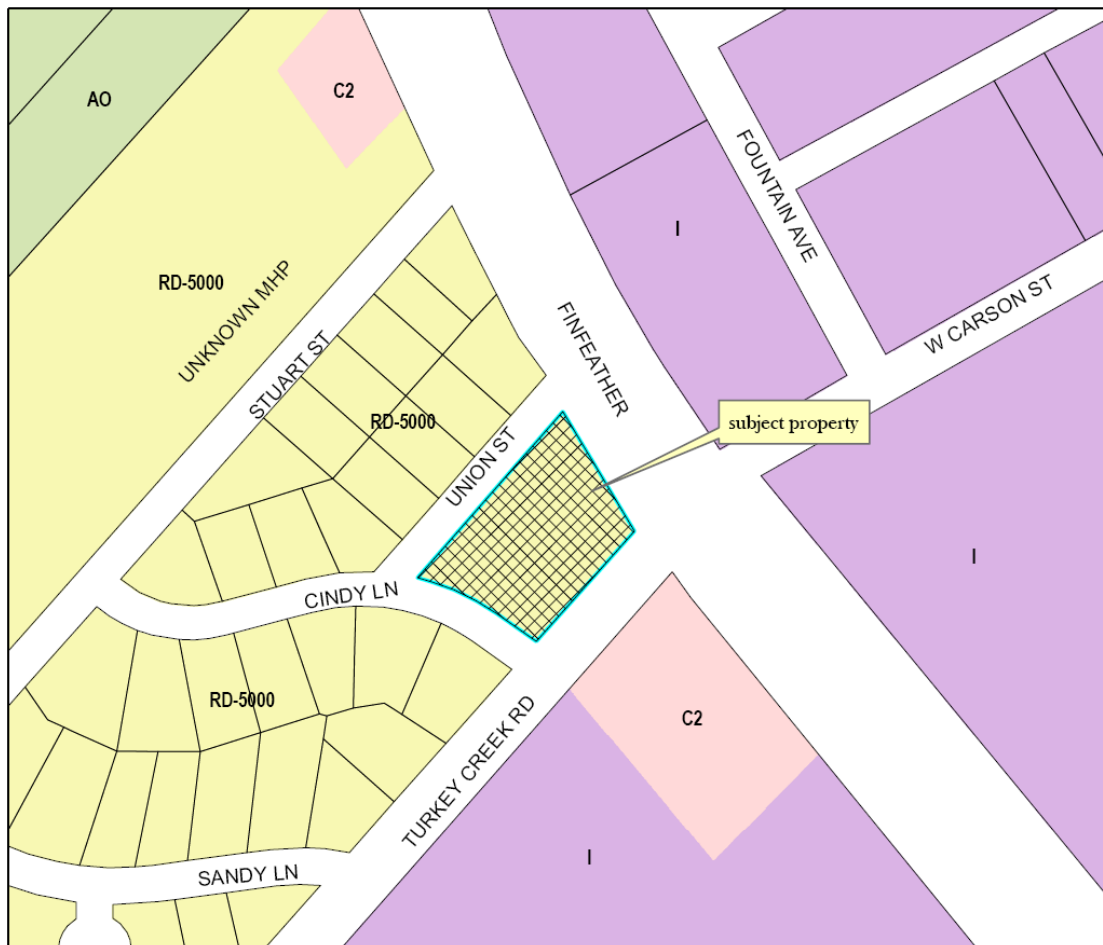
Case Summary

CASE:	a request to allow six (6) patio homes in an 'RD-5' Residential District-5000
P&Z MEETING DATE:	July 20, 2006
STAFF CONTACT:	Beth Wilson

Site Data

OWNER:	Tom Pinones
AGENT:	Gattis Engineering
SIZE AND LOCATION:	1.0827 acres of land located at the northwest corner of Finfeather and Turkey Creek Roads
LEGAL DESCRIPTION:	Oak Glade Addition, Block 1, Lot 1
ZONING & LAND USE:	'RD-5' Residential District-5000; vacant land

VICINITY MAP



Background

The applicant is requesting a Conditional Use Permit to allow six (6) patio homes in an 'RD-5000' Residential District – 5000 zoning district. The patio homes are proposed to be either 3 or 4 bedroom units. Two single family detached dwellings (permitted by right) are proposed for the remainder of this property. Section 62-167 of the City of Bryan Code of Ordinance requires the following minimum standards for patio homes:

(a) *Building setback lines.*

- (1) *Front yard.* The minimum front yard setback shall be 20 feet. However, if all off-street parking is located in the rear of the dwelling unit and no curb cuts are provided on the front (street side), then the front yard setback may be reduced to 15 feet.
- (2) *Side yard.* The minimum side yard setback shall be ten feet on lots siding on alleys. Patio homes must be constructed at least ten feet from one side lot line. The minimum side yard setback on corner lots shall be 15 feet on minor streets, 20 feet on secondary or collector streets, and 25 feet on arterial streets.
- (3) *Rear yard.* The minimum rear yard setback shall be 20 feet. However, if off-street parking is located on the front side (street side), then the rear yard setback may be reduced to ten feet.
- (4) *Common courts.* Where patio home lots and dwelling units are designed to face an open or common court rather than a public street, then said open or common court shall be at least 40 feet wide and no more than 200 feet long, measured from the public street to which said court must open. Said court may not include vehicular drives or parking area in front of dwelling units.

(b) *Lots.*

- (1) *Area.* Lot area shall be a minimum of 3,600 square feet.
- (2) *Width.* Lot width shall be a minimum of 36 feet.
- (3) *Depth.* Lot depth shall be a minimum of 100 feet.
- (4) *Corner lot.* Corner lots shall have a minimum width of ten feet greater than interior lots.

The proposed patio homes meet or exceed all these minimum requirements. Minimum required off-street parking will be provided on each lot.

Review and Evaluation Criteria

The Planning and Zoning Commission may authorize a Conditional Use Permit if it finds that all of the following criteria are met:

- Conformity with Zoning
The proposed patio homes meet all regulations and standards of the Zoning and Site Review Ordinances.
- Compatibility with Surrounding Land Uses
The subject property is bordered by two local streets and two minor arterials. North and west of the site lies an established residential neighborhood of single-family detached dwelling units. Staff contends the slightly higher density of the proposed patio homes will provide a useful transition from the high traffic intersection of Finfeather and Turkey Creek Roads into the low density residential neighborhood.

- Effect on Vehicular and Pedestrian Traffic in the Area
The proposed six patio homes should not greatly increase the overall vehicular traffic in the area. Furthermore, development of this site should eliminate the pedestrian “cut-thru” the site has provided and move pedestrian traffic onto sidewalks that will need to be constructed.
- Protection from Erosion, Flood or Water Damage, Fire, Noise, Glare, and Similar Hazards or Impacts
No adverse impacts have been identified at this time.
- Adequacy and Convenience of Off-street parking and Loading Facilities
As stated previously, each proposed patio home lot will provide at least the minimum required off-street parking spaces.
- Conformity with the Objectives and Purpose of the Zoning District in Which It is Located
As stated previously, staff contends that the proposed patio homes are compatible with both the zoning district and the surrounding area.

Staff Recommendation

Staff recommends **approving** of this Conditional Use Permit.

